

Attachment 3 - Appendix A



To: Honorable Mayor & Town Council
From: Leslie Herman, Director of Parks & Recreation
Date: May 24, 2023
Subject: Vienna Annex Long-Term Use Study: Future of Existing Annex Building

Based on the May 8, 2023 Council conference session, Kimmel Bogrette Architecture & Kimley Horn (project team) and Council determined that the existing Annex has two viable outcomes.

- The first option (Option 1) and the project team's recommendation is to demolish the entire structure.
- The second option (Option 2) is to demolish the sanctuary and retain and renovate the gymnasium and supporting spaces.

Option 1 - Council seemed to be generally in support of Option 1 - demo entire structure at a cost of \$250,000.

Option 2 - Council requested the project team provide the cost for Option 2 - to demolish the sanctuary and retain and renovate the gym and supporting spaces. The project team provided two rough construction estimates for retaining only the gym. The project team further explained that an additional 25% should be included if council wants to include soft costs, building permits, design, engineering, furniture and loose items like IT/AV, security, etc. for a total project cost. A detailed explanation of each option is included below and attached are floor plan diagrams showing the extent of the partial demo (keep the gym) options. Note the second sheet of each floor plan diagram includes the demo of the second floor.

- Option 2A - Minimal Intervention, Partial Demolition, Gym to remain - \$2,936,000
- Option 2B - Concourse Renovation, Partial Demolition, Gym to remain - \$3,346,600

Action Item: A decision needs to be made on the future of the Annex as the building is at the end of its useful life. The project team is requesting the Town Council vote at the June 5, 2023 council meeting the option they prefer - Option 1, Option 2A or Option 2B. This decision making will:

- Provide direction to the project team on how to proceed with the existing Annex.
- Inform decision making to the Town's budget committee and Council when considering various options for long-term use as part of the Capital Improvement Plan (CIP) in September. This will begin the discussion for long-term use.

ANNEX VIABLE OUTCOMES WITH COST IMPLICATIONS

Option 1: Demolition of Entire Building (\$250,000)

- Rough ballpark pricing for demolition and removal of debris of the entire building as one. Estimate \$250,000.
- Estimated pricing includes;
 - Disconnecting sewer/water utilities (Gas and Electric will need to be disconnected by the owner of the property)
 - Demolition of Structure/Removal of Debris
 - Erosion Controls
 - Importing Dirt to fill in where structure has been removed
 - Grading of imported dirt to provide positive drainage
 - Stabilization of disturbed area with seed/ straw
 - Does not include removal of asphalt driveway / parking lot or tree removal.
 - Civil engineering
 - County Fees

Option 2A: Minimal Intervention, Partial Demolition, Gymnasium to remain. (\$2,936,000)

- Selective Demolition: \$50 per sf (\$656,000)
 - Demo 10,667 SF on the first level & the entire 2,453 SF on the second level. This eliminates the sanctuary, existing plumbing and mechanical spaces, and adjacent office spaces. By removing the second level, we eliminate the need to add an elevator to make the level accessible.
- Renovation: \$250 per sf (\$2,030,000)
 - 8,120 SF of the gymnasium and support spaces directly north. The improvements should include new flooring, wall, and ceiling finishes in the gymnasium. The exterior walls will need to be patched with masonry and the entire building should get parged & painted. A mural can be painted on the gymnasium elevation facing Waters Field. The roof membrane and insulation will get replaced. A male and female locker room will be fitted in the northern storage spaces. The electric and mechanical systems will be completely replaced.
- Site Improvements: (\$250,000 Allowance)
 - The parking lot & drive isles will remain and get patched and repaired as required. The areas of demolition shall get regraded and grass seed planted. The entrances shall get planted and any future residential screening plants should get planted in this phase.

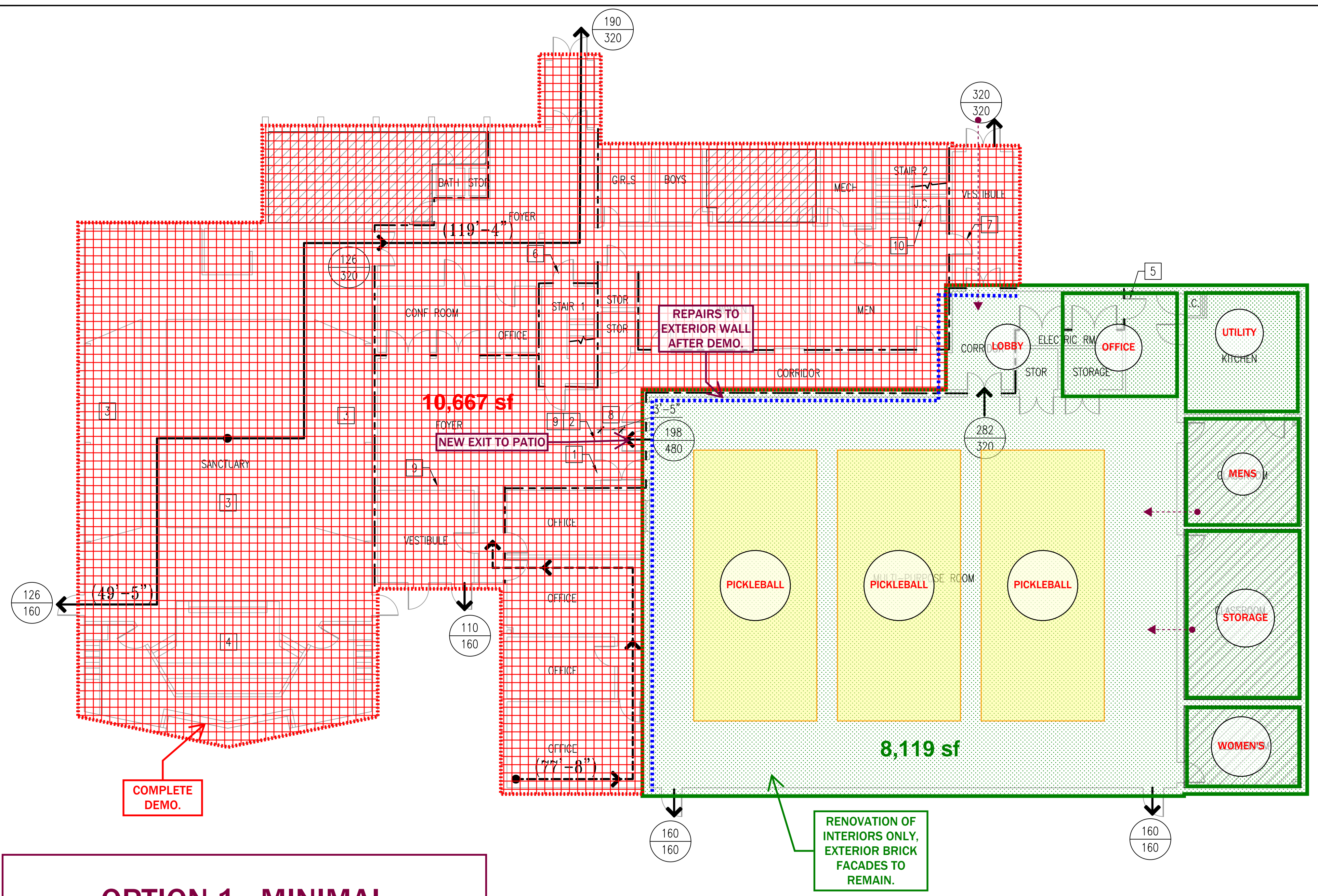
Option 2B: Concourse Renovation, Partial Demolition, Gymnasium to remain. (\$3,346,600)

- Selective Demolition: \$50 per sf (\$524,600)
 - 8,039 SF on the first level & the entire 2,453 SF on the second level. This eliminates the sanctuary, existing plumbing, and mechanical spaces, two story office and adjacent office spaces. By removing the second level, we eliminate the need to add an elevator to make the level accessible.

- Renovation: \$250 per sf (\$2,270,000)
 - 9,080 SF of the gymnasium and support spaces directly north. The improvements should include new flooring, wall, and ceiling finishes in the gymnasium. The exterior brick walls will get patched, repointed, & sealed. The roof membrane and insulation will get replaced. A male and female locker room will be fitted in the southern office space. The electric and mechanical systems will be completely replaced.

- Renovation with New Façade & Roof: \$300 per SF (\$552,000)
 - 1,840 SF of concourse connection space. The exterior walls would be mostly demolished and replaced with a modern glass façade that wraps 2 sides of the gymnasium. The roof would be replaced to gain some additional height in the public spaces and cover up areas of the exterior that would be damaged during demolition of the connecting spaces.

- Site Improvements: (\$250,000 Allowance)
 - The parking lot & drive isles will remain and get patched and repaired as required. The areas of demolition shall get regraded and grass seed planted. The entrances shall get flower beds and any residential screening plants should get planted in this phase.



OPTION 1 - MINIMAL INTERVENTION.

BUILDING CODE SUMMARY			
BUILDING CODE	INTERNATIONAL BUILDING CODE (IBC 2018)		
FIRE RESISTANCE	REQUIRED	PROVIDED	UL
STRUCTURAL FRAME	0	0	
BEARING WALL (EXT/INT)	0/0	0/0	
NON-BEARING EXT WALL X>=10 FT	0	0	
FLOOR CONSTRUCTION	0	0	
ROOF CONSTRUCTION	0	0	
STAIR SHAFTS	1	2	
ELEVATOR & MISC SHAFTS	1	N/A	
CORRIDOR WALLS	0	0	

BUILDING CODE SUMMARY		
BUILDING CODE	IEBC 2015 / IBC 2018	
TYPE OF CONSTRUCTION	TYPE VB, NON COMBUSTIBLE, UNPROTECTED	
OCCUPANCY	ASSEMBLY A-3	ALLOWED PROVIDED
STORIES	1	2
HEIGHT	40	40
FIRST FLOOR	6,000 SF	18,702 SF
TOTAL GROSS BUILDING AREA	FIRST FLOOR: 18,702 SF	SECOND FLOOR: 2,511 SF
	TOTAL: 21,213 SF	

APPLICABLE CODES

VIRGINIA EXISTING BUILDING CODE (VEBC), 2018
 VIRGINIA FIRE PREVENTION CODE.
 ICC A117.1
 AMERICANS WITH DISABILITIES ACT (ADA).

EGRESS SUMMARY

BUILDING CODE	NFPA 101 2018 ED REQUIRED	IBC 2018 ED REQUIRED
DOOR WIDTH IN INCHES (MIN 32 INCHES)	32 INCHES	
STAIR EGRESS WIDTH IN INCHES (MIN 48")	48 INCHES / 66 INCHES	
MIN NUMBER OF EXITS	4	
MAX EXIT TRAVEL DISTANCE IN FEET	(A-3) 200	
MAX COMMON PATH OF TRAVEL IN FEET	(A-3) 75	
MAX DEAD-END CORRIDOR LENGTH IN FEET	20 FEET	

CODE OCCUPANT LOAD - FLOOR 1

SPACE FUNCTION	AREA	OCCUPANT /SF	OCCUPANCY
SANCTUARY (ASSEMBLY W/ FIXED SEATING)	3,523 SF	N/A	252
GYMNASIUM / MULTI-PURPOSE	5,440 SF	7	(700) 800
CLASSROOMS	1,757 SF	20	88
STORAGE	300 SF	300	1
BUSINESS	7,952 SF	150	53
TOTAL	18,702 SF		1,194

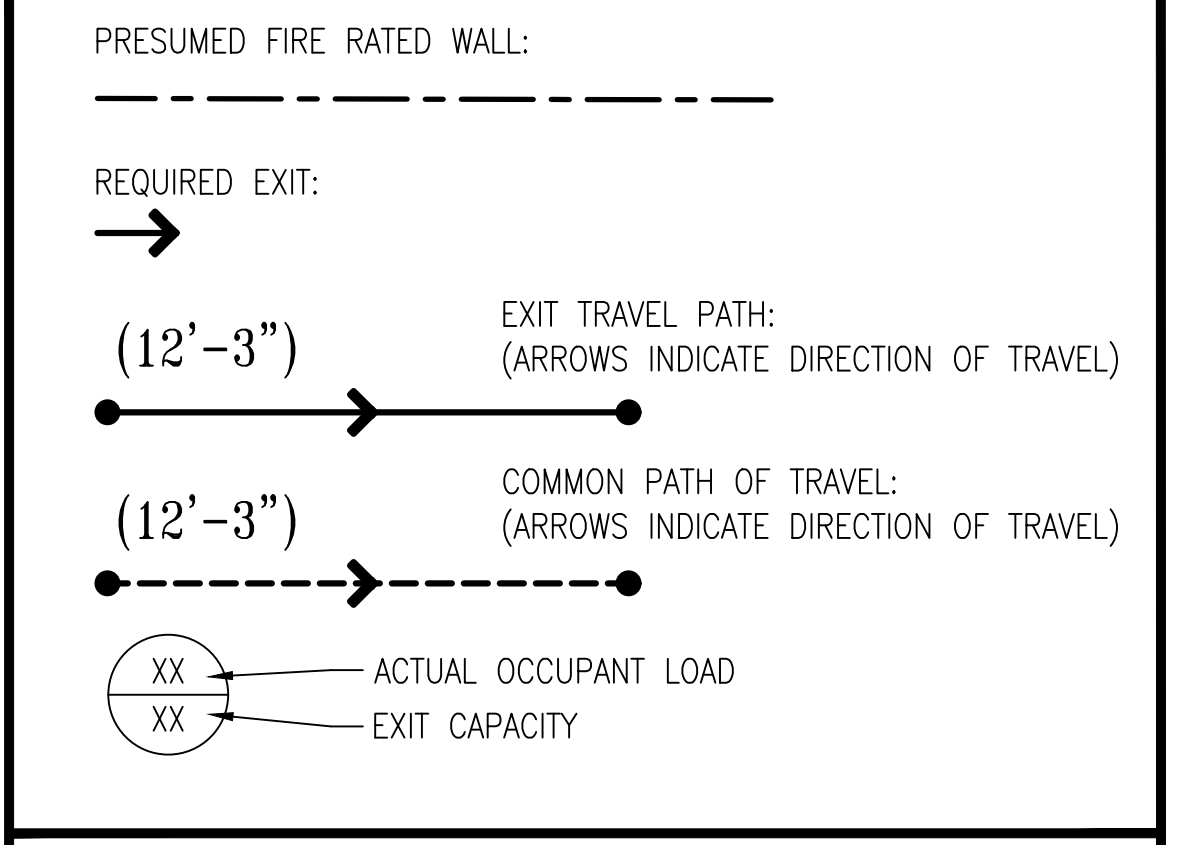
GENERAL CODE REVIEW

1. WORK IS CONSIDERED "CHANGE OF OCCUPANCY" PER VA UNIFORM STATEWIDE BLDG. CODE 2018
2. SOME EXISTING PARTITIONS APPEAR TO BE RATED DUE TO PRESENCE OF LABELED DOORS BUT ARE NOT HEREBY CONFIRMED.

SHEET KEYNOTES

1. DOOR NOT PERMITTED TO SWING TOWARD THE MULTIPURPOSE ROOM.
2. ADDITIONAL DOOR IS REQUIRED IN THIS WALL TO MEET MINIMUM REQUIRED EGRESS CAPACITY.
3. SANCTUARY SEATING - BENCHES WITH OCCUPANT LOAD CALCULATED AT 1 PER 18" OR BENCH LENGTH.
4. EXISTING STAGE WITHOUT PROSCENIUM (ALTAR).
5. NOT A REQUIRED MEANS OF EGRESS
6. OCCUPANT LOAD FROM SECOND STORY = 31. EGRESS THROUGH FOYER.
7. OCCUPANT LOAD FROM SECOND STORY = 31. EGRESS THROUGH VESTIBULE.
8. MINIMUM 48" CLEAR FROM DOOR OPEN AS SHOWN TO OPPOSITE WALL NOT MET.
9. EXISTING WALLS DIVIDE WHAT APPEARS TO HAVE BEEN A RATED EGRESS CORRIDOR.
10. JANITOR'S CLOSET (OR ANY STORAGE OR OTHER FUNCTION) NOT PERMITTED IN STAIRWELLS.

SHEET LEGEND



OCCUPANCY LEGEND

(NO HATCH) ASSEMBLY OCCUPANCY A-3

CLASSROOMS

REVISIONS	

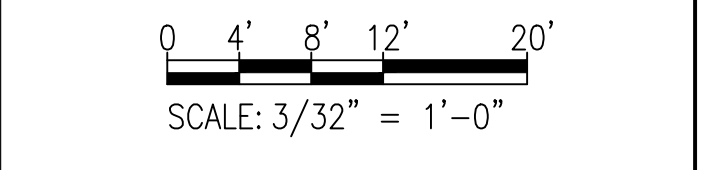
CLIENT INFORMATION
TOWN OF VIENNA PARKS AND RECREATION

FBC CODE REVIEW

KEY PLAN



GRAPHIC SCALES



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 EXPIRATION DATE: XX/XX/XXXX



FIRST FLOOR CODE ANALYSIS PLAN

DRAWING NO.
G1.01

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 DATE: SHEET 1 OF 2
 DES: EL DRAWN: AJM CHECK: EBL

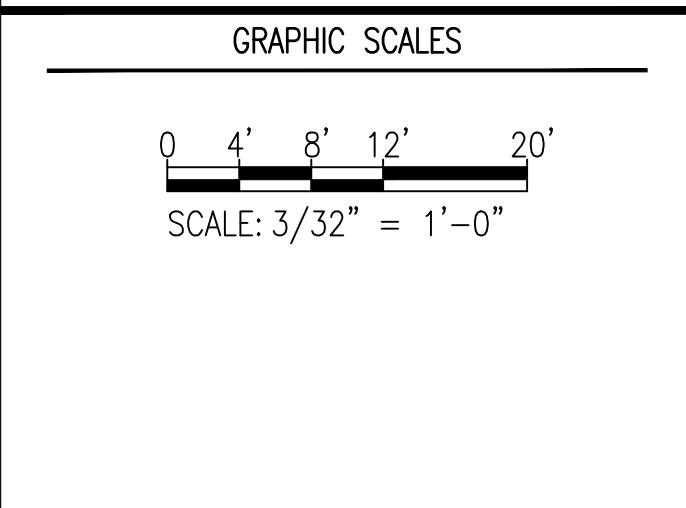
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REVISIONS	

CLIENT INFORMATION
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**SECOND FLOOR
 CODE ANALYSIS PLAN**

DRAWING NO.
G1.02

SCALE: 3/32" = 1'0"

DATE: SHEET 2 OF 2

DES: EL DRAWN: AJM CHECK: EBL

GENERAL CODE REVIEW

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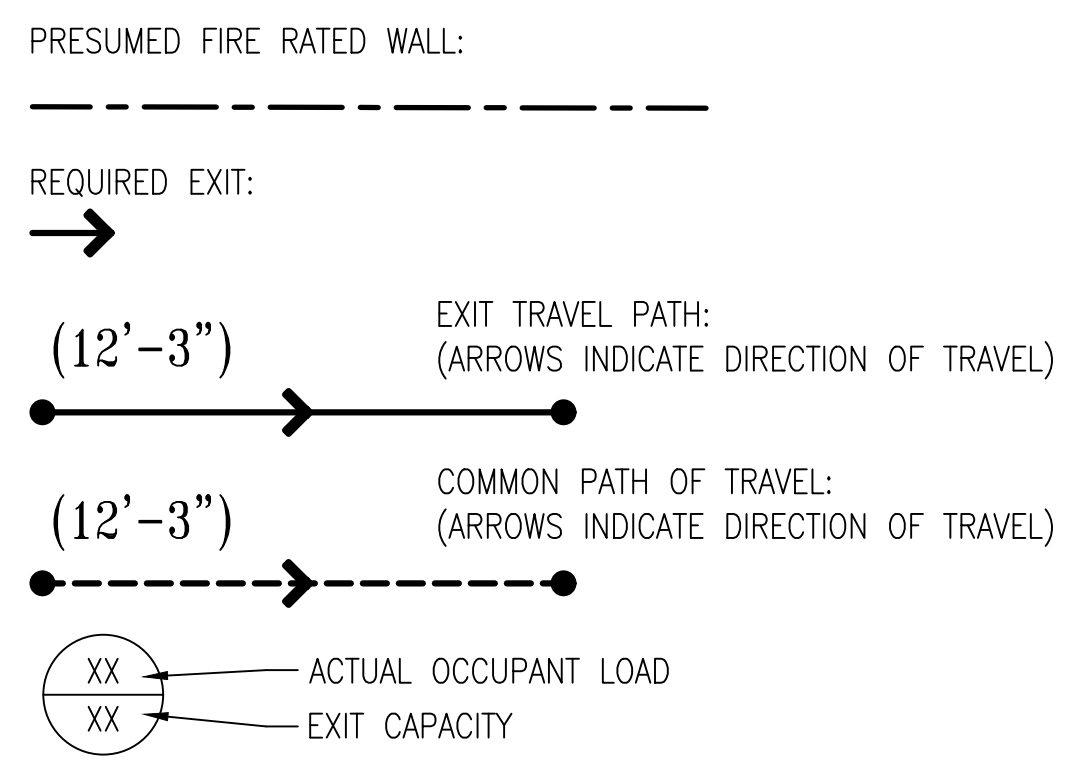
SHEET KEYNOTES

- 1 NON-RATED STORAGE ROOM NOT PERMITTED WITHIN RATED EGRESS CORRIDOR.
- 2 WALL DOES NOT APPEAR TO BE RATED AS REQUIRED FOR STAIR ENCLOSURE.
- 3 JANITOR'S CLOSET (OR ANY STORAGE OR OTHER FUNCTION) NOT PERMITTED IN STAIRWELLS.

APPLICABLE CODES

VIRGINIA EXISTING BUILDING CODE (VEBC), 2018
 VIRGINIA FIRE PREVENTION CODE.
 ICC A117.1
 AMERICANS WITH DISABILITIES ACT (ADA).

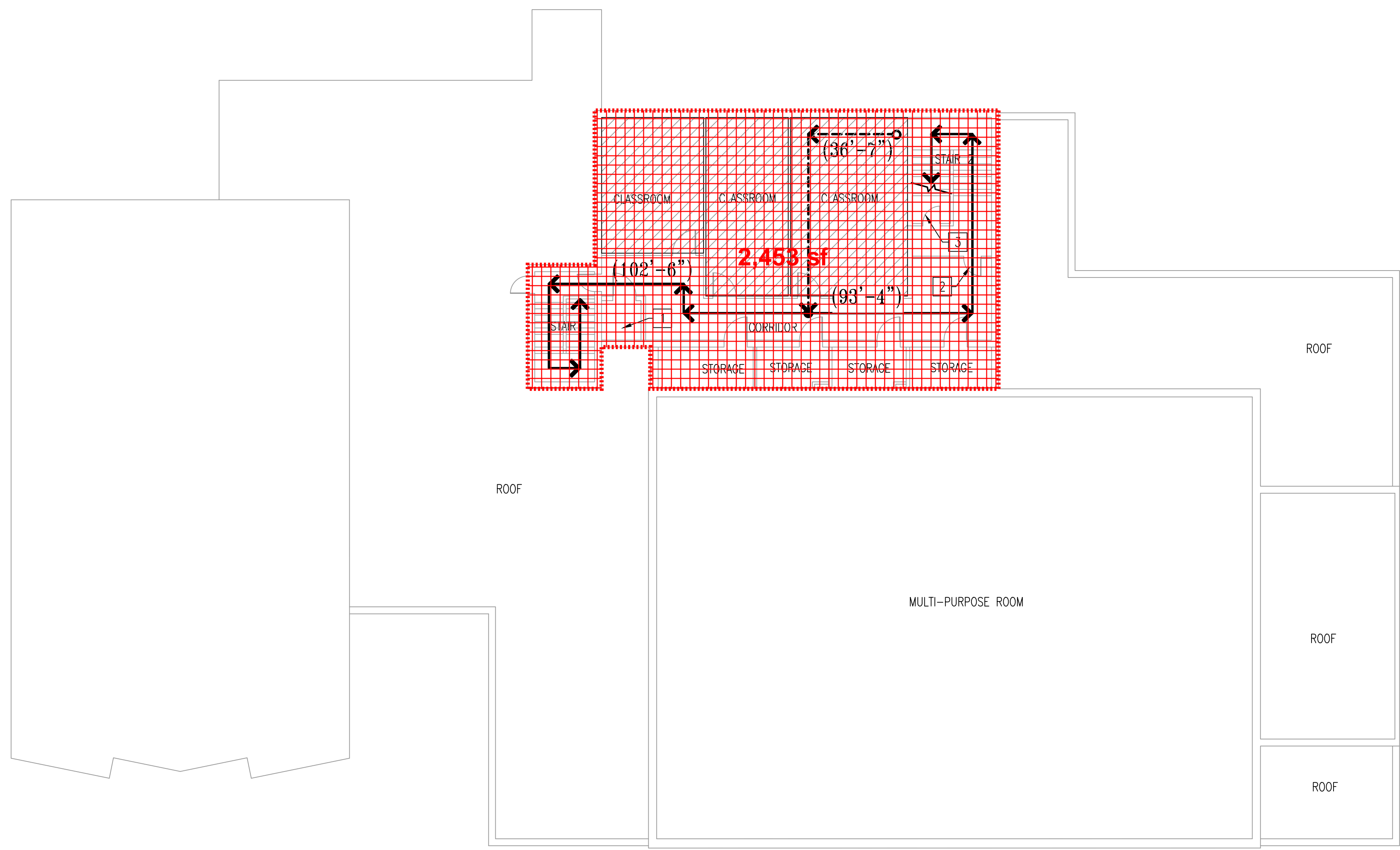
SHEET LEGEND



OCCUPANCY LEGEND

(NO HATCH) ASSEMBLY OCCUPANCY A-3

CLASSROOMS



1 LIFE SAFETY - SECOND FLOOR PLAN
 G-101 SCALE: 3/32"=1'-0"

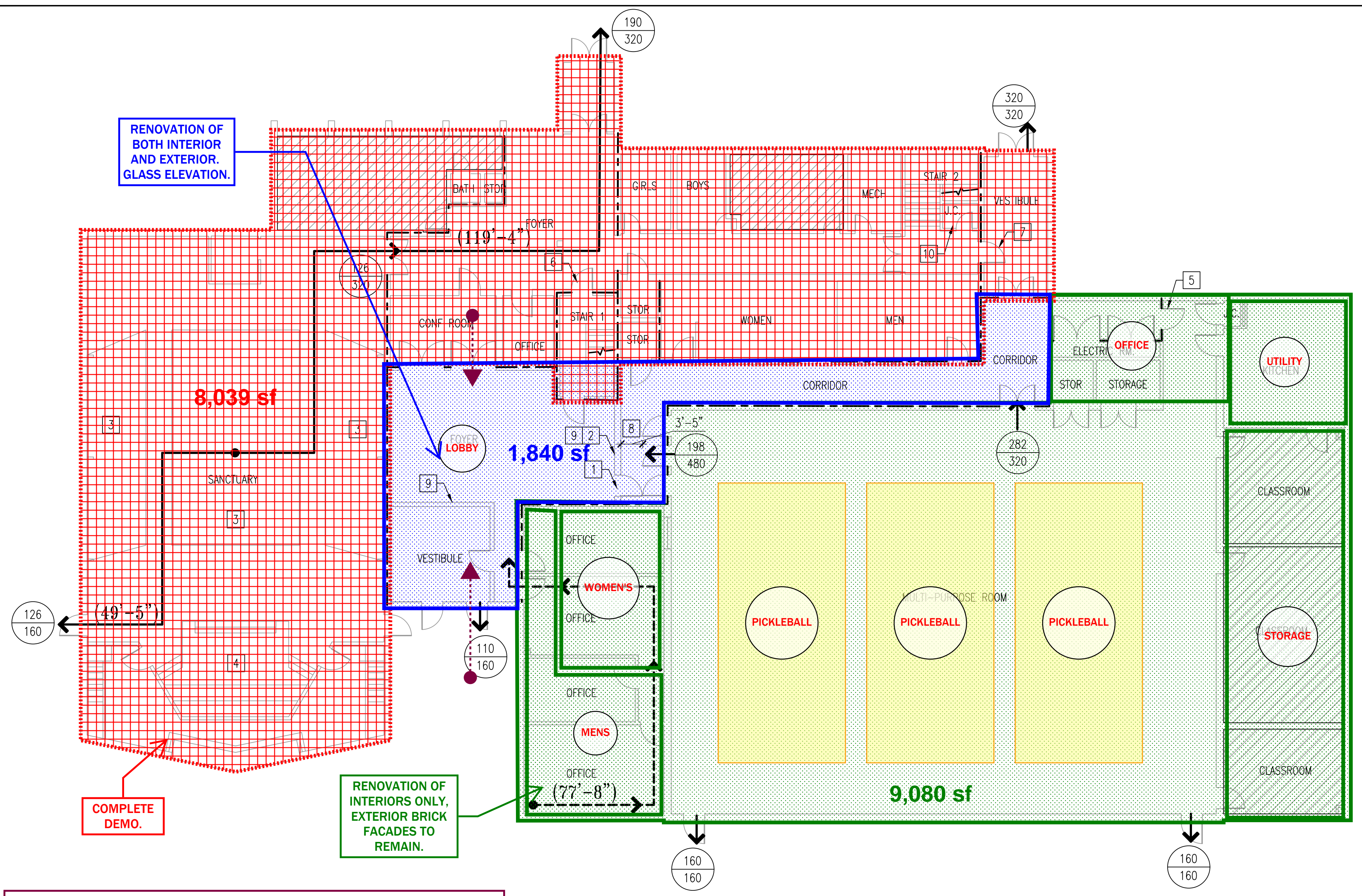
BUILDING CODE SUMMARY			
BUILDING CODE	2018 VIRGINIA UNIFORM STATEWIDE BUILDING CODE		
FIRE RESISTANCE	REQUIRED	PROVIDED	UL
STRUCTURAL FRAME	0	0	
BEARING WALL (EXT/INT)	0/0	0/0	
NON-BEARING EXT WALL X>=10 FT	0	0	
FLOOR CONSTRUCTION	0	0	
ROOF CONSTRUCTION	0	0	
STAIR SHAFTS	1	1	
ELEVATOR & MISC SHAFTS	1	1	
CORRIDOR WALLS	0	0	

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HEIGHT	40	40
SECOND FLOOR	6,000 SF	2,511 SF
TOTAL GROSS BUILDING AREA	FIRST FLOOR: 18,702 SF	SECOND FLOOR: 2,511 SF
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MAX EXIT TRAVEL DISTANCE IN FEET	(A-3) 200
MAX COMMON PATH OF TRAVEL IN FEET	(A-3) 75
MAX DEAD-END CORRIDOR LENGTH IN FEET	20 FEET

CODE OCCUPANT LOAD - FLOOR 1			
SPACE FUNCTION	AREA	OCCUPANT /SF	OCCUPANCY
CLASSROOMS	1,022 SF	20	52
STORAGE / MECHANICAL	305 SF	300	2
BUSINESS	1,184 SF	150	8
TOTAL	2,511 SF		62

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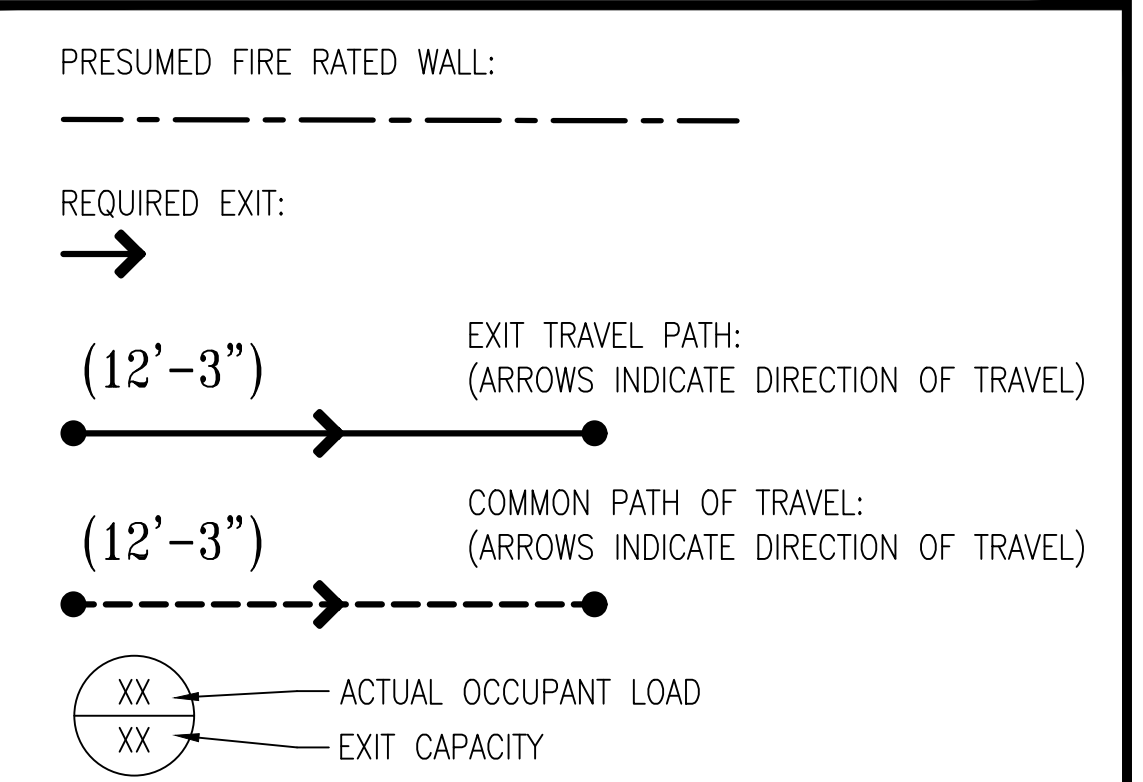
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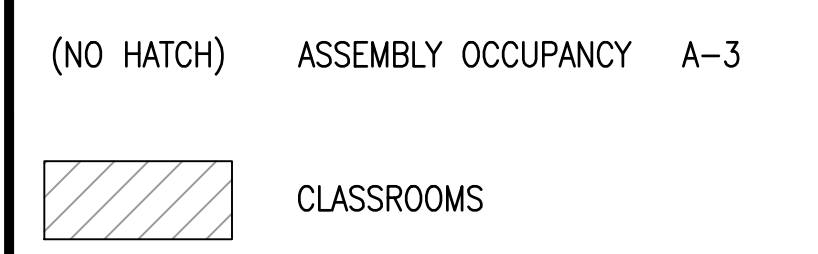
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- 10 JANITOR'S CLOSET (OR ANY STORAGE OR OTHER FUNCTION) NOT PERMITTED IN STAIRWELLS.

SHEET LEGEND



OCCUPANCY LEGEND



OPTION 2 - CONCOURSE RENOVATION.

APPLICABLE CODES

VIRGINIA EXISTING BUILDING CODE (VEBC), 2018
 VIRGINIA FIRE PREVENTION CODE.
 ICC A117.1
 AMERICANS WITH DISABILITIES ACT (ADA).

BUILDING CODE SUMMARY

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NON-BEARING EXT WALL X>=10 FT	0	0	
FLOOR CONSTRUCTION	0	0	
ROOF CONSTRUCTION	0	0	
STAIR SHAFTS	1	2	
ELEVATOR & MISC SHAFTS	1	N/A	
CORRIDOR WALLS	0	0	

BUILDING CODE SUMMARY

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CLASSROOMS	1757 SF	20	88
STORAGE	300 SF	300	1
BUSINESS	7,952 SF	150	53
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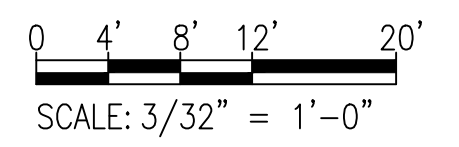
REVISIONS

CLIENT INFORMATION
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FBC CODE REVIEW

KEY PLAN

GRAPHIC SCALES



SIGNATURE

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 EXPIRATION DATE: XX/XX/XXXX



Whitman, Requardt & Associates, LLP
 801 South Caroline Street, Baltimore, Maryland 21231

**FIRST FLOOR
 CODE ANALYSIS PLAN**

DRAWING NO.

G1.01

SCALE: 3/32" = 1'0"

DATE: SHEET 1 OF 2
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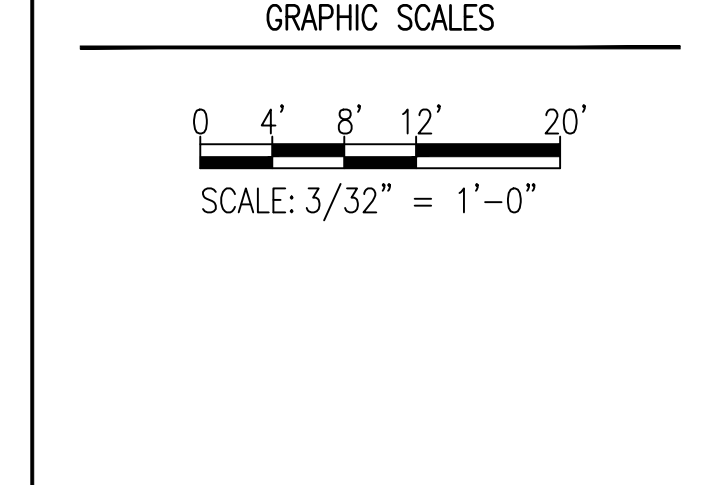
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REVISIONS	

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**SECOND FLOOR
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DRAWING NO.
G1.02

SCALE: 3/32" = 1'0"

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VIRGINIA FIRE PREVENTION CODE
ICC A117.1
AMERICANS WITH DISABILITIES ACT (ADA).

SHEET LEGEND

PRESUMED FIRE RATED WALL:

REQUIRED EXIT:

(12'-3") EXIT TRAVEL PATH: (ARROWS INDICATE DIRECTION OF TRAVEL)

(12'-3") COMMON PATH OF TRAVEL: (ARROWS INDICATE DIRECTION OF TRAVEL)

XX ACTUAL OCCUPANT LOAD
XX EXIT CAPACITY

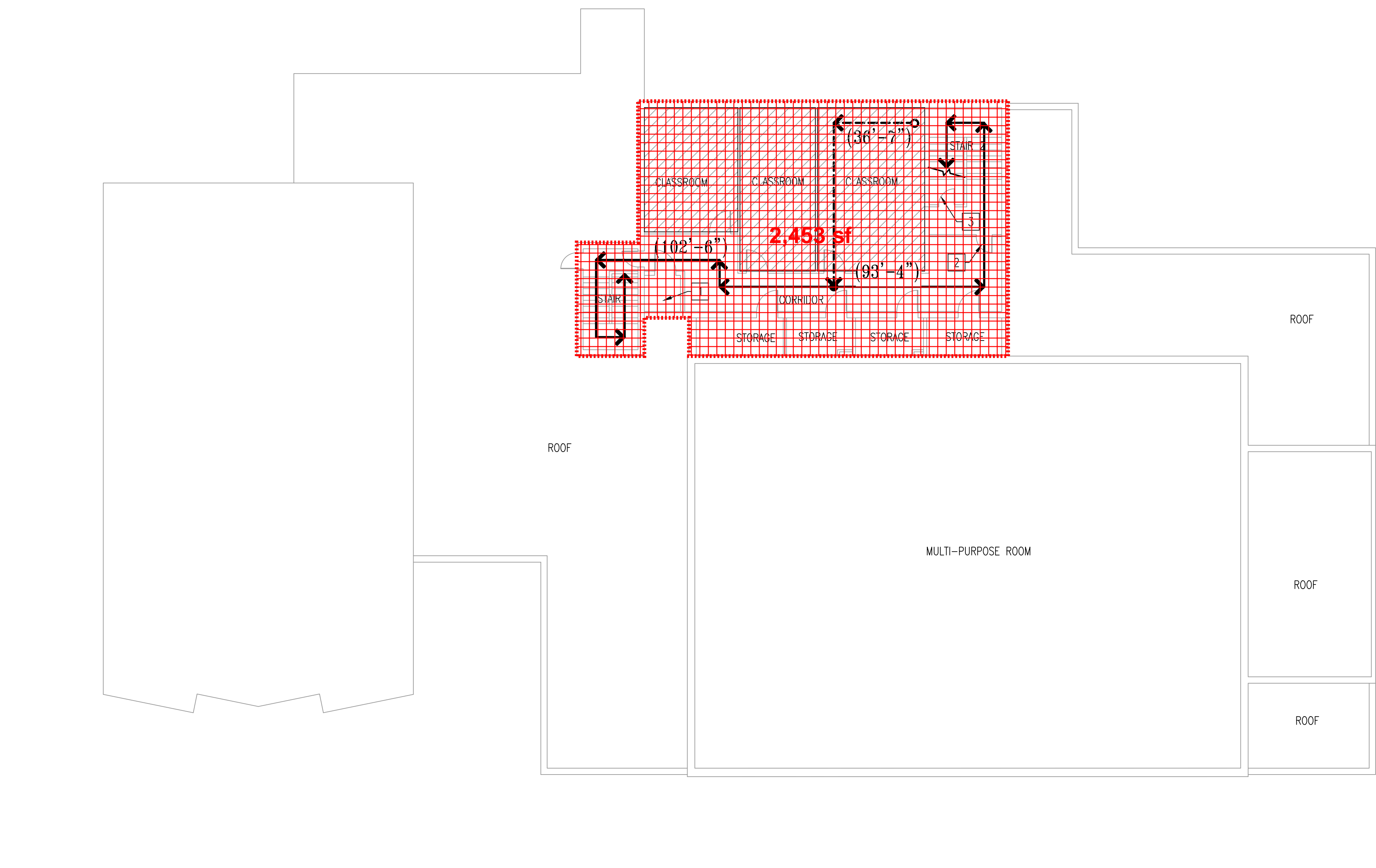
OCCUPANCY LEGEND

(NO HATCH) ASSEMBLY OCCUPANCY A-3

CLASSROOMS

CODE OCCUPANT LOAD - FLOOR 1

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1 LIFE SAFETY - SECOND FLOOR PLAN
G-101 SCALE: 3/32"=1'-0"

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NON-BEARING EXT WALL X>=10 FT	0	0	
FLOOR CONSTRUCTION	0	0	
ROOF CONSTRUCTION	0	0	
STAIR SHAFTS	1	1	
ELEVATOR & MISC SHAFTS	1	1	
CORRIDOR WALLS	0	0	

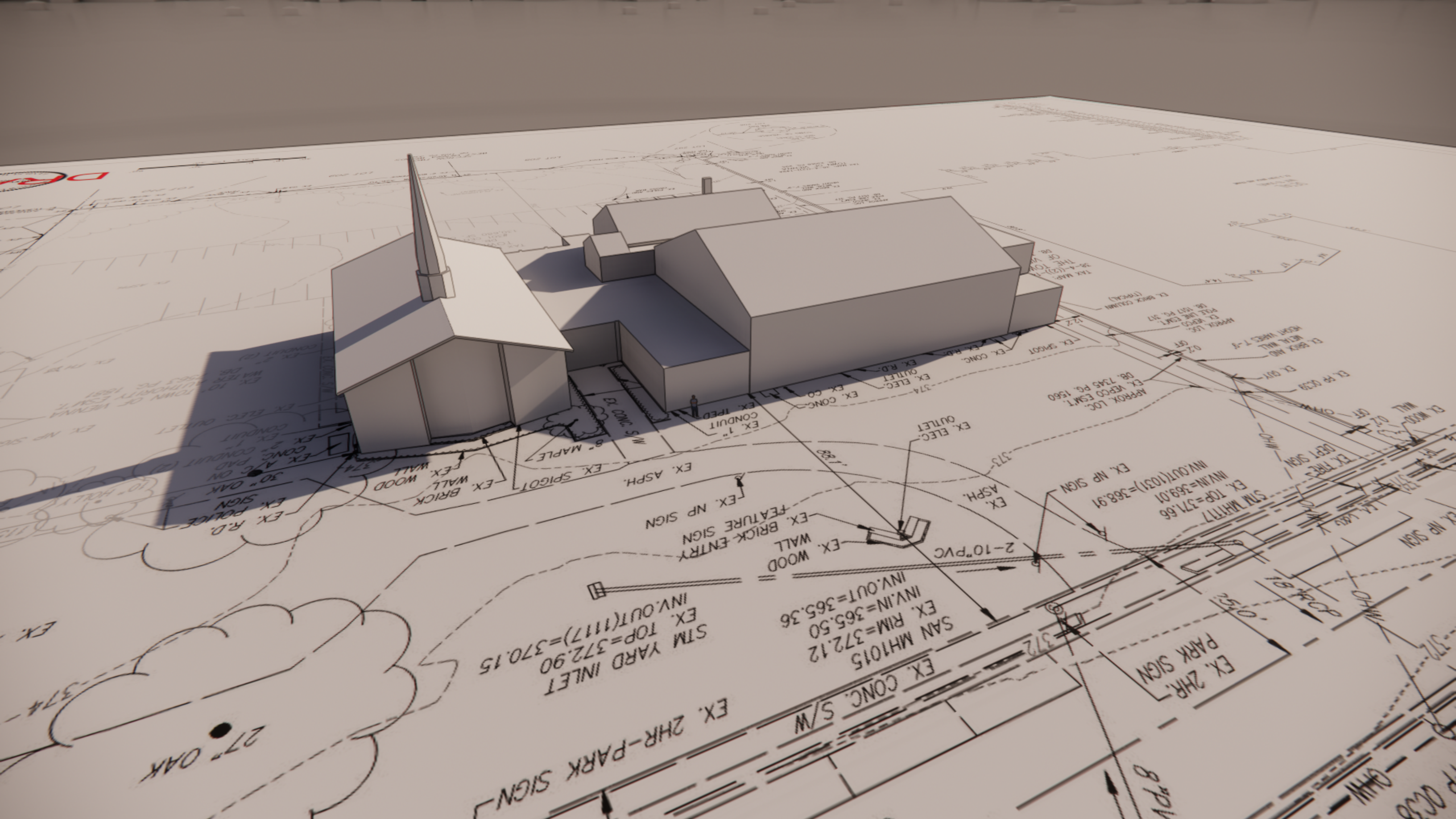
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DM

27" OAK

EX. POLICE
EX. SIGN
EX. R.D.
EX. 30" OAK
CONC. PAD
EX. A/C ON
CONC. PAD
EX. 2" CONDUIT (Ø)
EX. 1" CONDUIT (Ø)
EX. ELEC. QUSET

EX. WOOD WALL
EX. BRICK WALL
EX. BRICK WALL

EX. 2HR-PARK SIGN
EX. 2HR-PARK SIGN
EX. 2HR-PARK SIGN
EX. CONC. S/W
EX. RIM=372.12
EX. INV.=365.50
INV. OUT=365.36
SAN MH1015
EX. TOP=372.90
EX. YARD INLET
STM (1117)=370.15

EX. ASPH.
EX. WOOD WALL
EX. BRICK-ENTRY SIGN
EX. FEATURE SIGN
EX. NP SIGN

EX. ASPH.
EX. WOOD WALL
EX. BRICK-ENTRY SIGN
EX. FEATURE SIGN
EX. NP SIGN

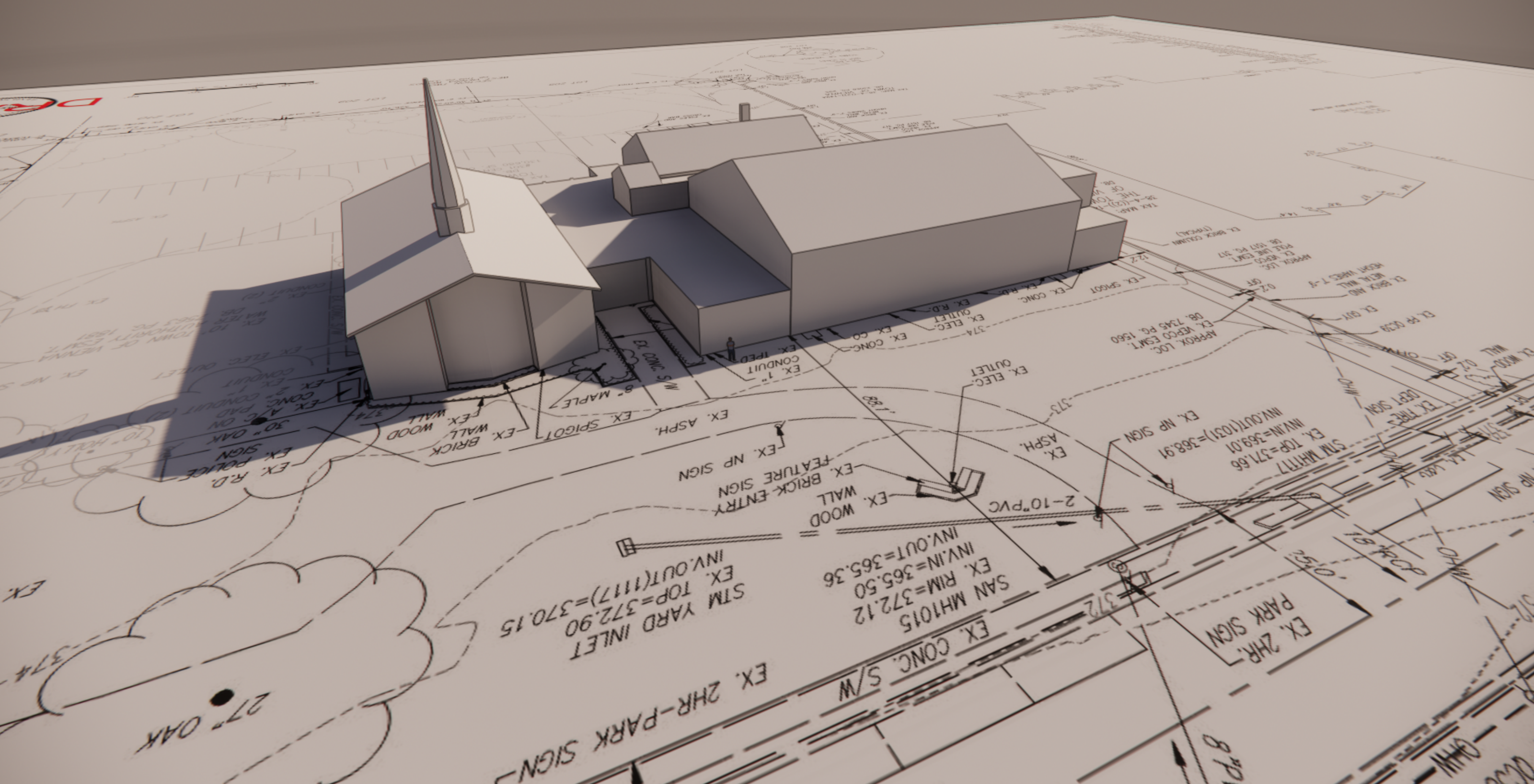
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EX. WOOD WALL
EX. BRICK-ENTRY SIGN
EX. FEATURE SIGN
EX. NP SIGN

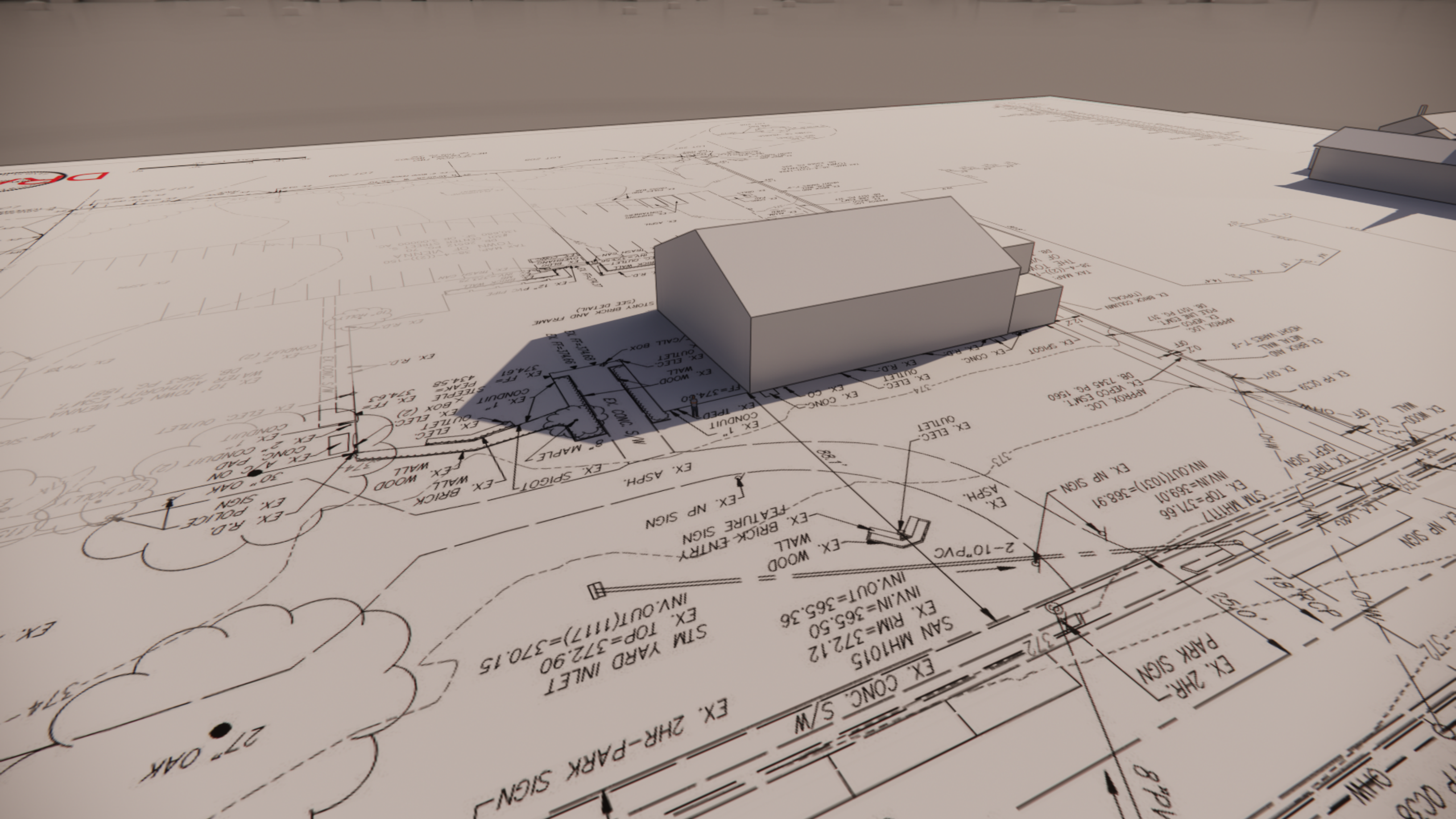
EX. 2HR-PARK SIGN
EX. 2HR-PARK SIGN
EX. 2HR-PARK SIGN
EX. CONC. S/W
EX. RIM=372.12
EX. INV.=365.50
INV. OUT=365.36
SAN MH1015
EX. TOP=372.90
EX. YARD INLET
STM (1117)=370.15

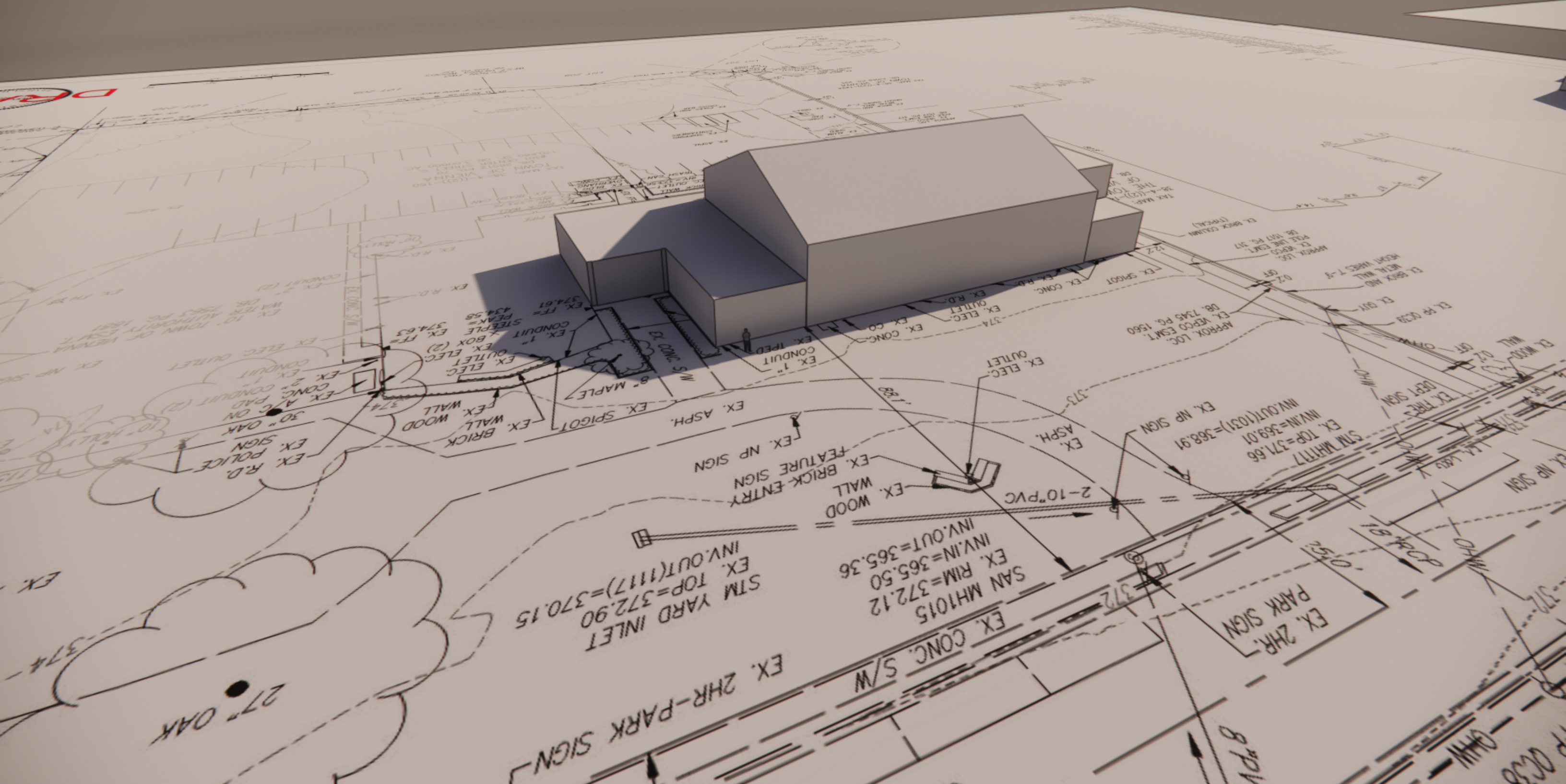
8" PVC

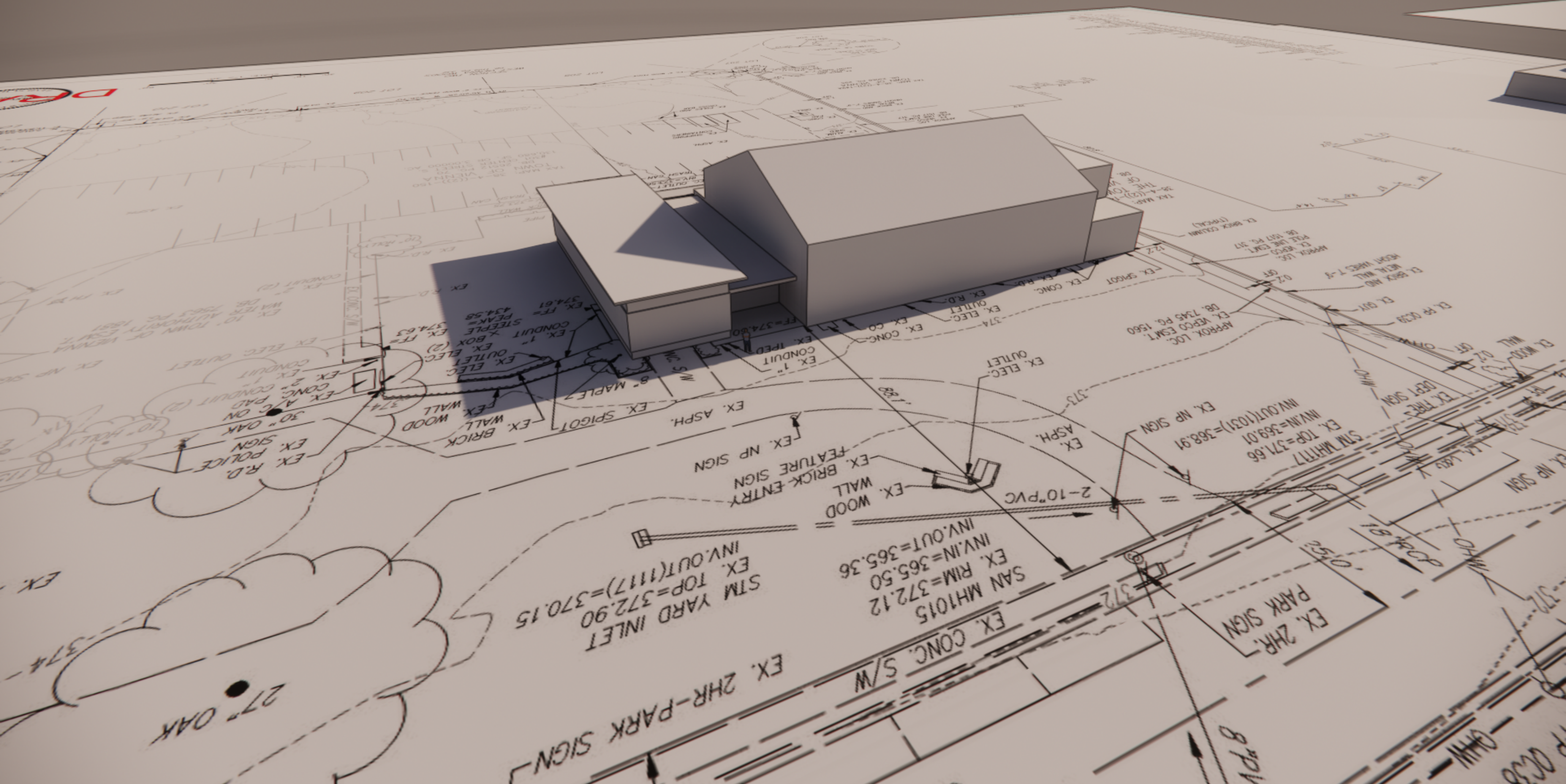
8" PVC

8" PVC









27" OAK

EX. 2HR-PARK SIGN
EX. CONC. S/W
SAN MH1015
EX. RIM=372.12
INV. IN=365.50
INV. OUT=365.36

EX. 2HR-PARK SIGN
EX. WOOD WALL
EX. BRICK-ENTRY SIGN
EX. FEATURE SIGN
EX. NP SIGN

EX. 2HR-PARK SIGN

8" PPV

8" PPV